

# Urban Design Guidelines

STAGE 1 - REVISION 1

NOVEMBER 2023

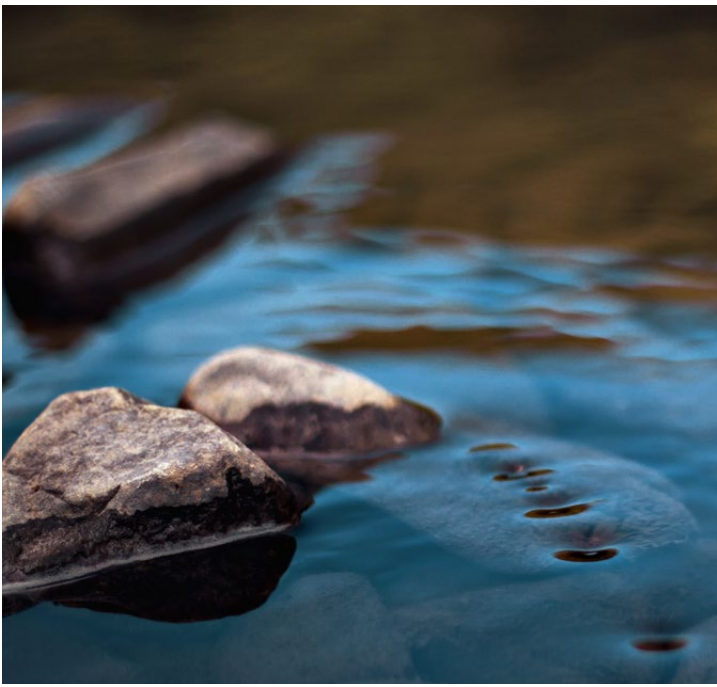
ST · JAMES  
KIDMAN PARK





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# 1. OUR STYLE

St. James is perfectly positioned on the banks of the River Torrens, between the vibrant Adelaide CBD and the stunning coastline. The development's character will embrace the area's natural surroundings, while allowing for modern built form that is timeless.

This new masterplan includes approximately 400 new homes set amongst tree-lined streetscapes and landscaped parks that connect to the river's edge, offering residents an idyllic lifestyle.

To ensure the development maintains a high level of visual appeal and consistency, we ask that residents, builders and key stakeholders work to our key themes and built form rules outlined in this document.

## Key Themes

- Aspirational while keeping things simple.
- Emphasis on open space, expansive views and outdoor living.
- Modern consistent design.
- A focus on authenticity and practicality.

## Forms

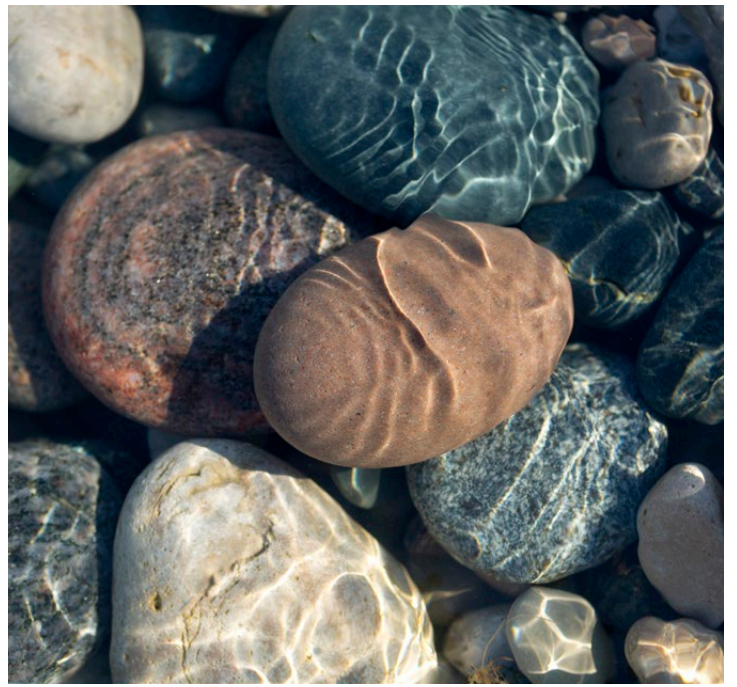
- Attention to the skyline and roof lines.
- Careful consideration of proportions and composition.
- Creation of visually intriguing designs.

## Textures

- Consideration of the built form instructions.
- Light render as a dominant and linking material.

## Landscape

- Emphasising the connection between unique house designs through their landscaping.



St. James offers  
a unique opportunity to  
live, work and play in a  
historically significant  
green oasis.



## 2. APPROVAL PROCESS

To ensure that the St. James community's homes reflect a high quality and consistent character, these design guidelines have been established to guide purchasers, architects, designers and builders. The guidelines aim to provide certainty to residents that their homes will achieve the vision of the project.

### The design and approval process involves three steps

#### Step 1: Review building envelope plans (BEP) and design guidelines

Before and during the design of your home, it's essential to familiarise yourself with the guidelines.

Use the checklist at the back of the guidelines to ensure compliance with encumbrance requirements and the BEP provided in your land sales contract. The BEP is an integral part of the contract of sale and specifies the garage location, height requirements, minimum building setback distances to lot boundaries, and other specific details for the lot. In some cases, other planning requirements may mandate greater setback distances.

#### Step 2: Submission of encumbrance application

Once your plans are finalised, you can apply for encumbrance approval via the encumbrance portal on the St. James website.

Make sure to include all required documentation listed in the checklist to allow the encumbrance team to assess your application. The encumbrance team may request amendments or additional information before providing approval, which is at the Encumbrance Team's discretion.

The St. James team recommend early engagement on the design process, please get in contact with our team today.

#### Step 3: Encumbrance approval and lodgement of development application with City of Charles Sturt Council

The design plans must be stamped for approval before lodging them with City of Charles Sturt Council through the Plan SA portal. Your builder may complete this as part of the pre-construction process.

#### Electronic copies of the following plans:

- Site plan (site contours, extent of building envelope, house siting, dimensioned setbacks, (min 1:200 scale) proposed earthworks, retaining walls, crossover location, driveway, stormwater disposal);
- Floor plans (1:100 scale);
- Elevations (1:100 scale);
- Cross section (1:100 scale).

#### As well as:

- Landscape plan including species of the whole site (min 1:200 scale);
- Area schedule showing floor area of the various parts of the building;
- Schedule of external colours and materials and fencing;
- Erosion and Sediment Control Management Plan;
- Fencing type and height;
- Front fence detail (if applicable); and
- Retaining wall detail (if applicable).

#### The Encumbrance Team will:

- Undertake the assessment process, which may involve contacting you or your builder/architect to discuss and resolve any issue.
- Provide written approval with stamped sets of plans.

Stamped plans will be emailed to the applicant (owner or their agent eg. builder) and one set of plans to be retained by the Encumbrance Team.

Under no circumstances should plans be lodged with the City of Charles Sturt prior to written approval being issued by the Encumbrance Team.

## 3. DESIGN INTENT AND BUILT FORM

### Design intent

The architectural design intent at St.James is to create a modern style that reflects its connection with the River Torrens, heritage, and position between the city and the sea while maintaining a sense of orderliness. Homes in this community should embody the following character elements:

- Clean and composed architectural lines.
- Abundance of glazing and natural light.
- Use of a natural colour palette with occasional “hero materials” in distinctive colours.
- Varied roof styles and pitches.

These design elements allow for freedom of expression while ensuring that the overall aesthetic is cohesive and not chaotic.

### Materials & colour palette

Light render should be used as a dominant and linking material.

The colours and materials on page 7 provide an example and starting point for the theme of your home. Adding other feature colours and modern cladding materials is encouraged.

### Built form

- Your front facade must include the colour white as a feature element in the colour palette. The shade of white should be Designer White or a similar colour.
- The frontage must feature at least three predominant facade materials, such as a combination of brick, render, decorative cladding or stone.
- Incorporate contrasting colours, such as a combination of complementary dark and light colours or complementary shades.
- Ensure the use of high quality and modern cladding materials.
- Feel free to add other feature colours and materials not shown on the palette to give your home some uniqueness and individuality. These should be used as minor elements to complement the main palette.

It is important to note that the colours and materials presented in the provided images serve as an example and starting point for the development theme of your home.

In addition, incorporating other feature colours and modern cladding materials is highly encouraged to further enhance the uniqueness of your home. These additional elements can be used to complement the colour palette and should be selected with care to ensure that they contribute positively to the overall aesthetic of your home.





# 4. BUILDING ENVELOPE PLAN

The Building Envelope Plan (BEP) has been formulated to regulate the physical structure of the development.

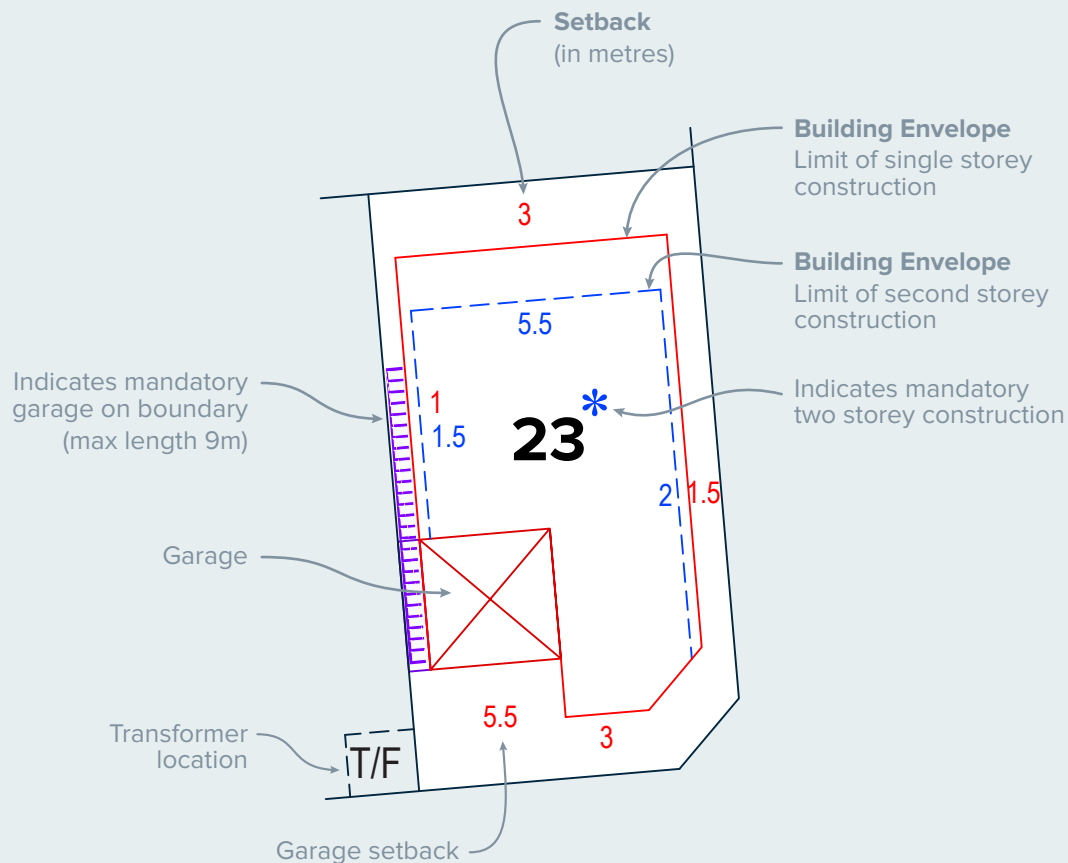
Its purpose is to enable ample natural light into adjacent neighbouring properties by providing a setback from adjoining boundaries.

The build-on-boundary approach has been selected as a 11.5m alignment with the neighbouring house design.

The build-on-boundary will comprise the garage and the first room behind the garage, typically a service room (laundry/bathroom).

To allow sunlight into the adjacent property's proposed private open space, the dwelling on the northern side of the build-on-boundary property must be setback from the rear property edge. All BEP layouts are developed by the design team and embody the overall vision of the development.

## Building envelope key - front loaded allotment



## 5. SUSTAINABILITY

Sustainability is an important aspect of the design and construction of homes in St. James. Through the use of considered design and energy-efficient appliances and inclusions, your home can be comfortable to live in all year round without the need for excessive heating and cooling, while also helping to reduce its environmental impact.

To ensure that all homes meet the required sustainability standards, there are general requirements that need to be adhered to. Firstly, all homes must achieve:

- Minimum energy efficiency rating equivalent in accordance with the current National Construction Code

Furthermore, energy-efficient appliances that can be powered or offset by renewable resources (such as electrical appliances offset by solar power) are preferred over those that rely on non-renewable resources (such as gas).

To mitigate the effects of the sun's heat and glare, west facing windows to bedrooms and living areas

must include external or internal blinds, louvres, decorative blades/fins, slats, or other shade devices that match the style of your home.

Houses should be orientated to ensure energy efficiency of your home and maximise sun into your private open space and into your home.

Traditional style fabric blinds and external roller shutters are not permitted. Suitable glazing may be used as an alternative.

Finally, each home must provide rainwater tank storage connected to 60% of the roof area and connected to one toilet and either the laundry cold water outlets or hot water service. The tank must include 2000L retention and 1000 litre detention, with a 20 - 25mm diameter slow release orifice at the bottom of the detention.

By incorporating these sustainability requirements into your home design, you can help create a more environmentally friendly and energy-efficient community at St. James.



# 6. HOUSE POSITION AND PRIVATE OPEN SPACE

Proper siting and orientation of your home can optimise the available space on your block and create a more comfortable living environment for you, while also ensuring privacy for you and your neighbours.

## General requirements

- Private open space must meet the following requirements:
  - 24sqm for lots of 300sqm or less in area.
  - 60sqm for lots over 301sqm in area.
- Your home must have 16sqm of private open space that can be accessed directly from a living room with a minimum width of 3m.
- Your home and garage should be designed to fit within the setbacks specified in your Building Envelope Plan (BEP). Minor protrusions may be allowed by the Encumbrance Team.
- Consider the outdoor aspect when designing your home to ensure that your indoor and outdoor living areas are comfortable all year round, taking into account prevailing breezes and solar orientation.
- Indoor living spaces should adjoin your main private outdoor space and provide solar access to the northern side of your home.
- Upper level windows that overlook into neighbouring properties must be permanently obscured up to 1.7m above the floor level and must be fixed in place or not capable of being opened more than 200mm outwards (eg. awning windows). Alternatively, windows must be located at least 1.7m above the floor level.
- Your home must meet soft landscaping requirements as per the residential design code.



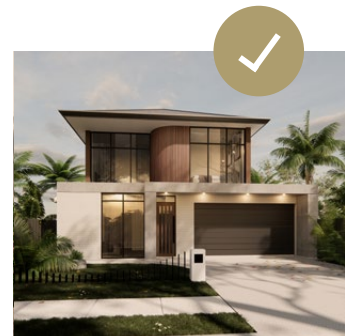
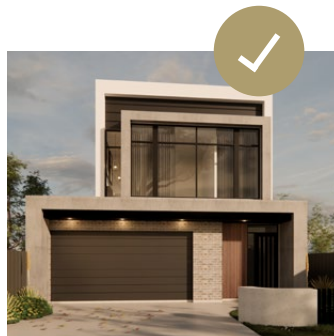
# 7. HOUSE FACADE AND APPEARANCE

Designing your home's frontage is crucial to ensure it aligns with the St. James' architectural vision and creates a visually appealing streetscape for the community. To achieve this, the following requirements must be met:

1. The front facade of your home must incorporate a mix of recessed and projected sections to avoid appearing flat, unless the design boasts significant architectural merit.
2. Windows on any street frontage must have contemporary designs, forms, and placements and should be made of commercial, semi-commercial, timber, or certain modern styles of window. Bay, colonial, federation, or traditional reproduction style windows do not fit St. James' character.
3. For two storey homes, the minimum required ceiling height on the ground floor is 2.7 meters to give your home a greater street presence.
4. Single storey homes to have a minimum ceiling heights of 3m for all rooms facing the street (excluding the garage) or high raised portico / entry to provide height to the street frontage.
5. Replica styles of architecture such as "villas", "bungalows", "georgian", or "colonial", do not conform to St. James' character. Likewise, traditional design elements such as finials, quoins, banding, lacework, keystones, or dutch gables are not allowed.

## House facade requirements

1. All houses must have an entry that features a well defined portico, porch, cantilevered canopy or other architectural feature with a minimum depth of 1.0 to 1.2m. The portico must be raised or provide architectural merit to the front of the home.
2. The entrance to your home must be easily visible and accessible from the street, and should not be concealed.
3. Street facing windows are required to provide surveillance and an active frontage. External roller security shutters are not permitted, however, security screens for windows and doors, such as woven mesh, and internal shutters that complement the style and colour of your home may be approved.
4. All front doors must be contemporary in design, style, and placement. They can be oversized (2.4m high and 1.2m wide) or feature top fan light and sidelight windows.
5. The meter box must be painted to match the color of the surrounding wall.





## 8. ROOF FORMS

To ensure an attractive and diverse streetscape, your choice of roof form is an important aspect of your home's overall design. Here are the general requirements to consider:

1. The roof facing the main street can have one or a combination of the following forms:
  - A stepped hip roof with a minimum pitch of 25 degrees.
  - An architectural style hip roof with a modern gutter profile (eg. edge or quarter round).
  - A box gable with a contemporary cladding infill or highlight windows.
  - Parapets with a box gutter and decorative rainhead and downpipe, painted to complement the front facade.
2. If you choose a bulky singular form roof (eg. hip, parapet, gable, or skillion), it must demonstrate high design specification and intent and show consistency with the St. James design character.
3. Exposed roof gutters require a minimum depth of 450mm eaves.
4. The roof material can be corrugated metal deck (custom orb profile) roofing, standing seam roof sheeting, or flat tiled shingle design. The roof colour should complement the colour of the home's materials.
5. Ensure clean and uncomplicated roof lines that don't feature roof mounted equipment like solar panels, TV antennae and satellite dishes, which should be placed at the rear of the roof space and out of sight from the street.



# 9. DRIVEWAYS AND GARAGE

To enhance the overall appearance of your home and the streetscape, it's important to carefully plan the integration of your garage and driveway. Here are the general requirements you need to follow:

1. Triple width or oversized garage doors are not permitted.
2. Garage doors should have a modern and contemporary design, like a panel lift door with horizontal or vertical panelling. Roller garage doors and traditional style panel lift doors are not permitted as they do not fit the desired character.
3. Garages must be set back a minimum of 5.5m from the front boundary to comply with council regulations.
4. A 300mm landscape strip between your driveway and side boundary is required.
5. Exposed aggregate concrete (Greystone exposed premix concrete or equivalent) is the only permitted material for the driveway between your garage and the street kerb. Plain or stencilled concrete or any coloured concrete other than the specified type and colour is not allowed and won't match the streetscape. Other materials like pavers, gravel or bricks are also not allowed.
6. The maximum width of your driveway should be no more than 4m wide at your front boundary for lots over 10m wide. Lots 10m or less to be 3.2m at boundary.





# 10. LANDSCAPING AND RETAINING WALLS

St. James aims to create open and spacious streetscapes. Your front yard, carefully designed and landscaped, can help make a statement for your home. The use of landscape features and trees in lieu of front fences is encouraged to extend your front yard to the street.

## Requirements for dividing fences:

1. Dividing fences between you and your side neighbours must be 1.8m high, pre-painted metal fencing without rails, such as Colorbond® “Good Neighbour” fencing. The colour should be “Monument” and corrugated in style.
2. The metal dividing fence must not project further forward than the main building line, which is the front wall of your home.
3. Dividing fences forward of your home can take the form of plain white rendered masonry, white concrete block walling, white picket fencing or planters at a maximum height of 600mm, which can also act as low retaining walls if there is a level difference between your lot and your neighbours.
4. Front fencing, sliding vehicle gates and pedestrian gates are permitted to a maximum height of 1.2m using the materials above.
5. Side access gates should be decorative and located not forward of the front face of the garage. Acceptable gate materials include timber or aluminum slats, iron, pickets or decorative panel styles. Metal sheeting is not accepted.

## General requirements:

1. Your front yard landscaping should be lush and green, using appropriate native plant species where possible.
2. Your letterbox must be a freestanding modern pillar style that complements the design of your home. Traditional style letterboxes are not accepted.
3. No artificial species or lawn allowed

If there is a slight difference in levels on your lot, you may need to consider earth retaining to create a flat building pad for your home. However, it’s important to carefully consider retaining walls that are visible from the street and other public areas to ensure they fit with the St. James character.

## Retaining wall requirements:

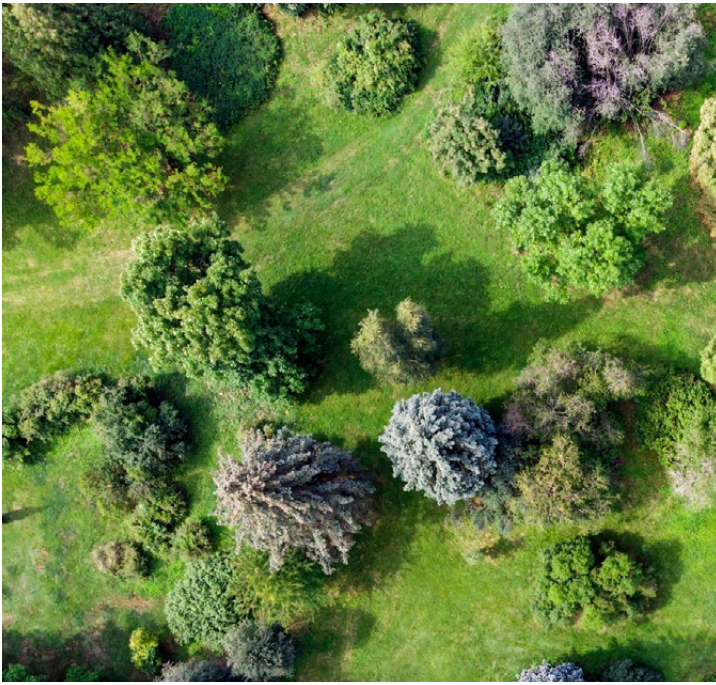
Retaining walls that are visible from public areas or in front of your home must meet the following criteria:

- Cannot exceed a height of 600mm.
- Must be constructed using plain white rendered masonry or white concrete block walls only.
- Concrete sleeper retaining or sectional retaining walls are not permitted if visible from public areas.
- They may also be designed to serve as landscape feature planters.

## For retaining walls that are not visible from public areas:

- Written approval from neighbouring owners is required for retaining walls on side boundaries that are shared. If a neighbour is not defined, approval from the developer is necessary.
- Concrete sleeper or sectional retaining walls of up to 1.5m in height are permitted if not visible from public areas.





## 11. CORNER ALLOTMENTS

Corner blocks can offer additional yard space and increased natural light if designed with care, which can create a sense of openness and roominess in your home.

### Corner frontage requirements:

To meet the character at St. James, the secondary street frontage must have an articulation zone of at least 5m from the front corner of your home. This zone should have the same quality materials, windows and other design elements as the main frontage of your home.

This includes:

1. Window styles.
2. Wrap-around balconies and porticos.
3. Roof form and detail.
4. Decorative cladding materials, features, and colours.

The minimum setback for articulated walls on the ground floor of the secondary street frontage is 1m, and 1.5m for the first floor, unless stated otherwise on the Allotment Development Plan. 'Box on box' designs or straight walls with no projected or recessed sections are not consistent with the character at St. James.

### Corner fence requirements:

Side privacy fencing must be built at a height of 1.8m and made from a feature material, such as:

1. Rendered walling.
2. Breeze block wall.
3. Post and slat fence (timber or aluminium/steel).

The side privacy (corner) fence must start behind the articulation zone.

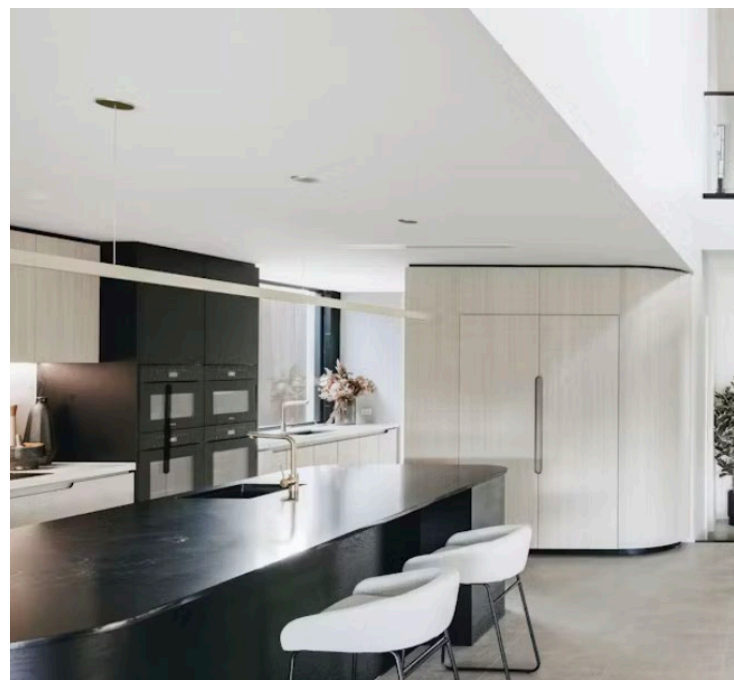


# 12. HOUSE SERVICES

Some aspects of your home are often an afterthought when planning your new home. Services and other structures can be considered early to make sure they are screened from sight or located away from public view to ensure they don't detract from the appearance of your home.

## General requirements:

1. Roof mounted items such as solar panels, air conditioning systems, evaporative coolers, TV antennas, satellite dishes etc. are to be mounted so they are not visible from the main street frontage. They are also required to be lower than the peak of the roof.
2. Utility areas (clothes drying and storage areas) are not to be visible from streets or public areas. On corner allotments, they are required to be located on the opposite side of the lot to the secondary street.
3. Provision for all bins is required either within the garage or in a screened location not forward of the garage.
4. Solar hot water systems are required to be located on the ground and cannot be roof mounted.
5. Rainwater tanks are to be located in a suitably screened location and needs to be no more than 2.4m in height.
6. The meter box for your home is to be located in a discreet location, painted to match the surrounding wall colour.





You have the freedom  
to express your individuality  
by designing a home that  
honours the architecture  
of yesteryear.

## 13. SUBMISSION CHECKLIST

To apply for encumbrance, you will need to submit several documents, including:

- ✓ Site plan
- ✓ Stormwater management plan
- ✓ Full schedule of finishes and materials
- ✓ Floor plans
- ✓ Energy assessment in accordance with the BCA
- ✓ Front, rear and side elevation plans
- ✓ Engineering, site and drainage plans
- ✓ Coloured render of facade
- ✓ Landscape plan with species location and number

The materials and colour palette, as well as sustainability features, must be specified on the plans, including the shade devices or glazing type.

The rainwater tank must also be located on the plans.

To expedite the encumbrance assessment and approval, a submission checklist must be included with your application, ensuring that all points are noted on the plans. This includes the specification for the feature front door, private open space of 24sqm for lots less than 300sqm, and 60sqm for lots over 300sqm, and a minimum of 16sqm of private open space adjoining a living room with a minimum width of 3 metres.

If an alternative front facade design is proposed, a design statement must be provided. Setbacks in accordance with the Allotment Development Plan must also be included and external roller security shutters cannot be used.

The roof forms should consider the location of outdoor living and prevailing sea breezes, with minimum 450mm eaves included on exposed roof gutters.



These design guidelines provide general information regarding the properties at St. James Kidman Park. While we have taken care to ensure the accuracy of information at the time of production, we will not be liable (whether in tort, contract, or otherwise) for any loss suffered as a result of relying on this proposal. Images are for illustration purposes only. We recommend that prospective purchasers inspect land and together with their advisors, make their own enquiries with relevant authorities prior to purchase.

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